



Kingsman Homes Development, (Plot 5) River Holme View, Brockholes,
Holmfirth, HD9 7BP

£715,000

bramleys



Plot 5

Forming part of this executive gated community of only 9 prestigious homes, is this 5 bedroom detached residence. Symmetry being at the heart of this architectural design, which creates a Georgian inspired dwelling. Offering deceptively spacious accommodation laid across 4 levels. Promoting open plan living with a L-shaped kitchen/lounge/dining area. The kitchen is fitted with a contemporary shaker style design and style central island. Finished to a high specification throughout and boasting a generous driveway and integral garage. The property provides a stunning master suite with dressing room and en suite shower room, a versatile second reception room to the ground floor which could be utilised as a gym, cinema room or playroom. This home has been constructed in the grounds to the 'old house', within the semi-rural village of Brockholes, which is highly sought after. Being mostly suited to the family purchaser, an early internal inspection is essential to appreciate the impressive accommodation within. With accommodation briefly comprising:- entrance hall which provides access to the garage, cloakroom/WC, separate utility room and cinema room. To the first floor there is the open lounge/dining kitchen/family room, with French doors leading out to the rear garden. To the second floor there is a spacious master bedroom with dressing room and en suite and a jack and jill en suite serves bedroom 2 and 3. To third floor are 2 further bedrooms with dressing areas and a 3 piece bathroom.





GROUND FLOOR:

Entrance Hall

Upon entry you are greeted by an inviting entrance space which is fitted with a central heating radiator and a contemporary glass balustrade staircase which incorporates an understairs storage cupboard and provides access first floor.

Cloakroom/WC

5'11" x 4'11" (1.80m x 1.50m)

Furnished with a low flush WC, wash hand basin and heated towel rail.

Cinema Room/Reception Room

A versatile space which is ideal for use as a home office, cinema or snug. There is a uPVC double glazed window to the side elevation.

Utility Room

10'2" x 6'5" (3.10m x 1.96m)

Comprising a range of base units with stylish complementary work surfaces, matching upstands and an inset stainless steel sink with drainer and mixer tap.

Garage

18'10" x 17'2" (5.74m x 5.23m)

An integral garage with up and over door and accessible from the entrance hall.

FIRST FLOOR:

Landing

This spacious landing provides an ideal study area and has a uPVC double glazed window to the front elevation and stairs which provide access to the second floor.

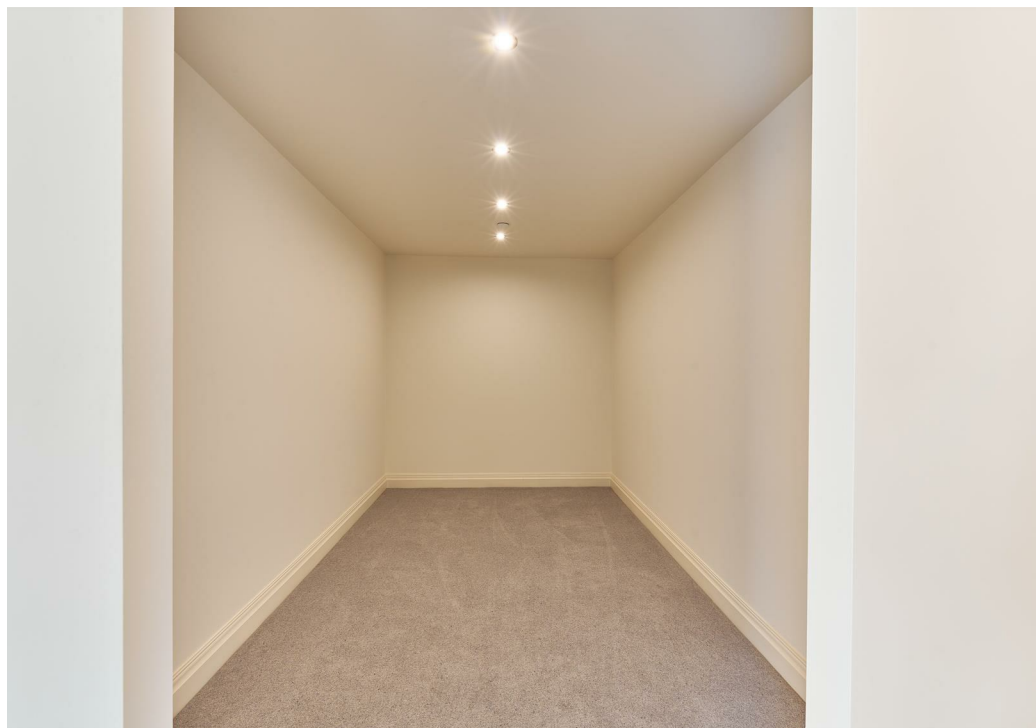
Family/Dining/Kitchen

29'5" x 28'1" max / 17'8" min l-shaped (8.97m x 8.56m max / 5.38m min l-shaped)

This superb open plan living space runs the depth of the property and provides plenty of natural light with windows to the front and French doors to the rear. The living/family area is open plan to the modern fitted kitchen.

Lounge

A bright and airy room which is fitted with a uPVC double glazed window to the front





elevation, central heating radiator and stove which is inset to a complementary surround and hearth.

Dining Kitchen

A modern fitted kitchen which is fitted in a shaker style and comprises a range of wall, drawer and base units with solid work surfaces, matching upstands and a twin Belfast sink with mixer tap. There is a central island, central heating radiator and uPVC double glazed French doors and window which provide a pleasant aspect overlooking the garden.

SECOND FLOOR:

Landing

Master Bedroom

14'1" x 10'1" (4.29m x 3.07m)

A wonderful master suite which has a uPVC double glazed window to the front elevation and access into the dressing room area.

Dressing Room

14'1" x 7'2" (4.29m x 2.18m)

En suite Shower Room

9'10" x 7'0" (3.00m x 2.13m)

A 3 piece suite comprising of a low flush WC, wash hand basin and shower cubicle. There are tiled splashbacks, a uPVC double glazed window to the front elevation and a heated towel rail.

Bedroom 2/Guest Suite

14'7" x 15'0" (4.45m x 4.57m)

This bedroom has a uPVC double glazed window to the rear elevation and a central heating radiator.

Jack and Jill En suite

8'6" x 6'6" (2.59m x 1.98m)

With a low flush WC, wash hand basin and shower cubicle. This room serves both bedroom 2 and bedroom 3.

Bedroom 3

13'2" x 11'7" (4.01m x 3.53m)

With a uPVC double glazed window and a central heating radiator.

THIRD FLOOR:

Landing

Bedroom 4

17'6" x 14'0" max (5.33m x 4.27m max)

With Velux roof windows and separate dressing area.

Dressing Area

10'6" x 5'9" (3.20m x 1.75m)

Bedroom 5

13'9" x 11'5" (4.19m x 3.48m)

With Velux roof windows and dressing area.

Dressing Area

7'11" x 5'2" (2.41m x 1.57m)

Shower Room

8'7" x 5'4" (2.62m x 1.63m)

A 3 piece suite comprising of a low flush WC, wash hand basin and shower cubicle.

OUTSIDE:

To the front of the property there is a driveway which provides off road parking and provides access to the garage. Steps lead up the side of the property to the rear garden. To the rear there is a landscaped garden and patio area.

BOUNDARIES & OWNERSHIPS:

The boundaries and ownerships have not been checked on the title deeds for any discrepancies or rights of way. All prospective purchasers should make their own enquiries before proceeding to exchange of contracts.





DIRECTIONS:

Leave Huddersfield via Chapel Hill (A616) passing through the village of Lockwood. At the Lockwood lights turn left into Woodhead Road, passing Grappolo restaurant and proceed for approximately 2.5 miles. On approaching Honley, continue left on New Mill Road and proceed into the village of Brockholes. After passing the Rock Inn on the right hand side, take the second right on to Rock Mill Road, before turning on to River Holme View. The new build development can be found at the conclusion.

TENURE:

Freehold

COUNCIL TAX BAND:

TBA

MORTGAGES:

Bramleys have partnered up with a small selection of independent mortgage brokers who can search the full range of mortgage deals available and provide whole of the market advice, ensuring the best deal for you. YOUR HOME IS AT RISK IF YOU DO NOT KEEP UP REPAYMENTS ON A MORTGAGE OR OTHER LOAN SECURED ON IT.

ONLINE CONVEYANCING SERVICES:

Available through Bramleys in conjunction with leading local firms of solicitors. No sale no legal fee guarantee (except for the cost of searches on a purchase) and so much more efficient. Ask a member of staff for details.

PLEASE NOTE:

The photographs used as from a different plot on the development and are therefore to be used for illustration purposes only.







- Forming part of an exclusive gated development
- Brand new – stone built detached property
- Inspired by the Georgian era
- Promotes open plan living
- Accommodation laid across 4 levels
- Impressive master suite with dressing room and en suite
- Popular location of Brockholes
- Located within Holme Valley
- Viewing essential
- Ideal for the growing family

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales		EU Directive 2002/91/EC

CONSUMER PROTECTION FROM UNFAIR TRADING REGULATIONS 2008

Bramleys, for themselves and for the Vendors or Lessors of this property, whose Agent they are, have made every effort to ensure the details given have been prepared in accordance with the above Act and to the best of our knowledge give a fair and reasonable representation of the property. Please note:

1. There is a six inch measurement tolerance, or metric equivalent, and the measurements given should not be entirely relied upon and purchasers must take their own measurements if ordering carpets, curtains or other equipment.
2. None of the mains services, i.e. gas, water, electricity, drainage or central heating system (if any) have been tested in any way whatsoever. This also includes appliances which are to be left insitu by the vendors.

PURCHASERS MUST SATISFY THEMSELVES AS TO THE CONDITION AND EFFECTIVENESS OF ANY SUCH APPLIANCES OR SERVICES. FLOOR PLANS NOT TO SCALE - FOR IDENTIFICATION PURPOSES ONLY

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